

# 1,992 SF OF MEDICAL OFFICE

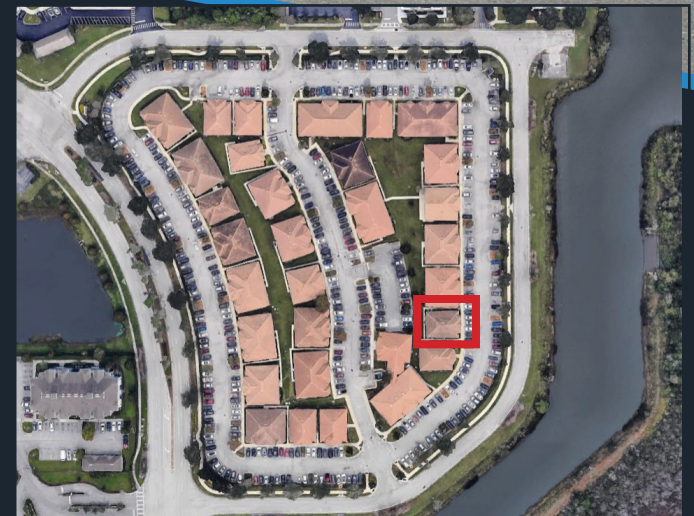


AVAILABLE  
**FOR SALE**

1136-1138 Cypress Glen Circle, Kissimmee, FL 34741

## HIGHLIGHTS

- 1,992 SF Available
- 7 Private Patient Rooms
- Reception Area
- 2 Separate Waiting Areas
- Built in 2008



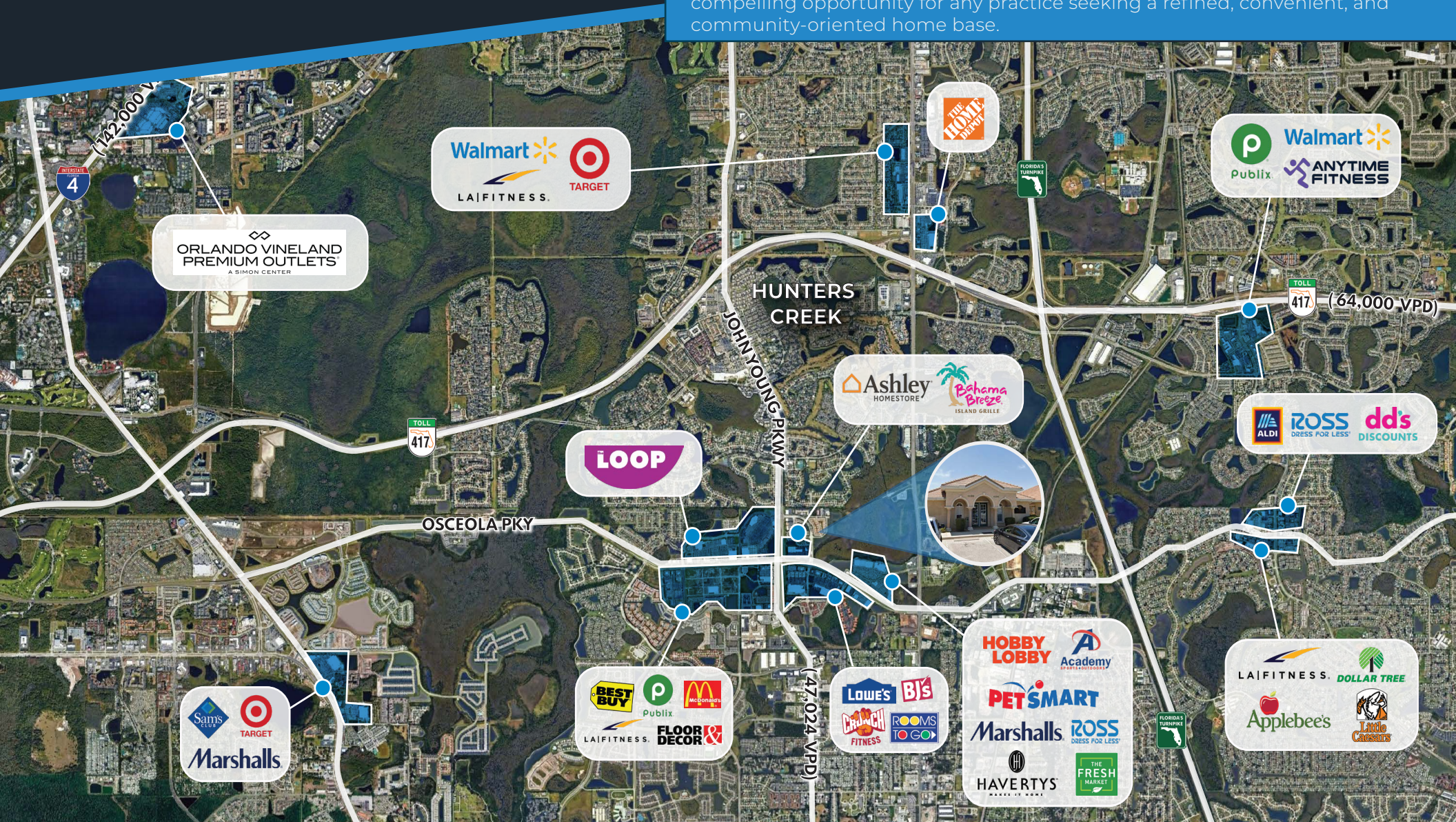


- 1,992 SF Available
- 7/1,000 Parking Ratio
- 1 Reception Area with 2 Separate Waiting Areas
- 7 Private Patient Rooms with Plumbing
- 2 Small Single Desk Private Offices
- 1 Large Private Office
- 2 Restrooms
- Breakroom
- Built in 2008
- In the heart of Hunters Creek
- 2.6 Miles from AdventHealth Kissimmee



# AMENITIES MAP

Located at 1136–1138 Cypress Glen Circle, Kissimmee, FL 34741, this beautifully remodeled 1,992 sf medical office building is perfectly positioned within the Hunters Creek Professional Park, a notably upscale and purpose-built healthcare community. Surrounding amenities include a rich mix of dining—Chipotle, Panera, Italian Market—hotels like the nearby Hampton Inn and retail at The Loop shopping center, making it ideal for patients and staff alike. With its strategic location, turn-key medical build-out, prominent tenancy cluster and supportive neighborhood infrastructure, this property offers a compelling opportunity for any practice seeking a refined, convenient, and community-oriented home base.





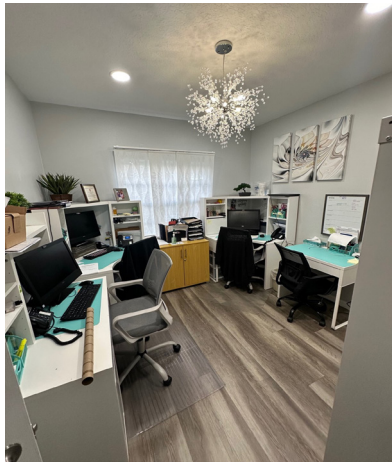
# LOCATION OVERVIEW

The Class-B facility, constructed in 2008 and recently upgraded, offers modern finishes, ample parking with a 7/1,000 sf ratio, and close proximity to prominent medical tenants including urgent care, dermatology, OB/GYN, and pharmacy service. Nestled amid thriving residential neighborhoods that draw high-income professionals, the property benefits from excellent road access via John Young Parkway, Osceola Parkway, and 417, and is just minutes from AdventHealth Kissimmee and Celebration Hospital campuses.



# REGIONAL DEMOGRAPHICS

|                | 3 MILE   | 5 MILE   | 10 MILE  |
|----------------|----------|----------|----------|
| Population     | 105,678  | 250,219  | 536,551  |
| Households     | 35,663   | 83,530   | 184,496  |
| Employees      | 31,526   | 80,859   | 349,348  |
| Ave. HH Income | \$71,458 | \$71,901 | \$82,045 |



# KEY DRIVE TIMES

## MAJOR CITIES

|                 |           |
|-----------------|-----------|
| Lake Nona.....  | 13 Miles  |
| Poinciana ..... | 17 Miles  |
| Orlando .....   | 20 Miles  |
| Tampa .....     | 73 Miles  |
| Miami.....      | 220 Miles |

## MAJOR TRANSPORTATION HUBS

|                                    |           |
|------------------------------------|-----------|
| Orlando Int'l Airport.....         | 15 Miles  |
| Kissimme Sunrail Station.....      | 4.2 Miles |
| Meadow Woods Sunrail Station ..... | 5.5 Miles |

## MAJOR HIGHWAYS

|                            |            |
|----------------------------|------------|
| Osceola Pkwy .....         | 0.29 Miles |
| John Young Pkwy .....      | 0.80 Miles |
| Orange Blossom Trail ..... | 1.1 Miles  |
| FL Turnpike.....           | 2.5 Miles  |
| FL-417 .....               | 4.5 Miles  |
| SR 528 .....               | 5.5 Miles  |
| I-4 .....                  | 8 Miles    |
| SR 408.....                | 19 Miles   |





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